

LEGEND		
EXISTING	PROPOSED	DETAILS
		BOUNDARY LINE
		STREET CENTERLINE
		EASEMENT LINE
		LOT LINES
SS	SS	SEWER PIPE
SS-1	SS-2	SEWER MANHOLE
SS-2	SS-3	4" SEWER SERVICE
SD-1	SD-2	STORM DRAIN PIPE (RCP)
SD-2	SD-3	STORM DRAIN MANHOLE
SD-3	SD-4	CURB INLET
SD-4	SD-5	COMBO BOX
SD-5	SD-6	4'x4' CATCH BASIN
SD-6	SD-7	3'x3' CATCH BASIN
SD-7	SD-8	INLET/OUTLET W/ GRATE
SD-8	SD-9	CULINARY WATER PIPE
SD-9	SD-10	45" PIPE ELBOW (W)
SD-10	SD-11	22.5" PIPE ELBOW (W)
SD-11	SD-12	11.25" PIPE ELBOW (W)
SD-12	SD-13	FIRE HYDRANT
SD-13	SD-14	3/4" SERVICE & METER (W)
SD-14	SD-15	PRV(W)
SD-15	SD-16	AIR-VAC VALVE (W)
SD-16	SD-17	2" BLOW-OFF (W)
SD-17	SD-18	VALVE (W & SW)
SD-18	SD-19	TEE
SD-19	SD-20	CROSS
SD-20	SD-21	SECONDARY WATER PIPE
SD-21	SD-22	45" PIPE ELBOW (SW)
SD-22	SD-23	22.5" PIPE ELBOW (SW)
SD-23	SD-24	11.25" PIPE ELBOW (SW)
SD-24	SD-25	1" SINGLE SW SERVICE
SD-25	SD-26	1-1/2" DUAL SW SERVICE
SD-26	SD-27	SW SERVICE TO PARKS
SD-27	SD-28	AIR-VAC VALVE (SW)
SD-28	SD-29	BACKFLOW PREVENTER
SD-29	SD-30	2" BLOW-OFF (SW)
SD-30	SD-31	30" C&G (COLLECTOR)
SD-31	SD-32	24" C&G (LOCAL)
SD-32	SD-33	24" SHED C&G
SD-33	SD-34	SIDEWALK
SD-34	SD-35	STOP SIGN
SD-35	SD-36	STREET SIGN
SD-36	SD-37	MONUMENT
SD-37	SD-38	SPRINKLER CONDUIT
SD-38	SD-39	FENCE
SD-39	SD-40	STREET LIGHT LOCAL
SD-40	SD-41	STREET LIGHT COLLECTOR
SD-41	SD-42	POWER POLE
SD-42	SD-43	DITCH
SD-43	SD-44	FIBER OPTIC
SD-44	SD-45	GAS
SD-45	SD-46	OVERHEAD POWER
SD-46	SD-47	FLOW ARROW
SD-47	SD-48	CONTOURS
SD-48	SD-49	100 YEAR FLOOD ROUTE
SD-49	SD-50	MATCH LINE
SD-50	SD-51	DRIVE APPROACH
SD-51	SD-52	ADA RAMP
SD-52	SD-53	TRAIL

(*)CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES
(*)SEE PLAN & PROFILE FOR SIZE & MATERIAL
(*)SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
(*)SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS
(*)SEWER SERVICE MINIMUM SLOPE 2%

DATA TABLE	YARD BOX TOTAL
8" PVC PIPE	510 LF
12" PVC PIPE	1330 LF
8" TEE	9 EA
12" TEE	28 EA
8" 90° BEND	2 EA
8" GRATE	19 EA

SHEET NOTES

- THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1959 UTAH COUNTY MONUMENT AT THE NORTH 1/4 CORNER OF SAID SECTION 10, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATIONS OF 4,896.76 FEET.
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- AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 49551701058 WITH AN EFFECTIVE DATE OF JULY 17, 2002.

YARD BOX NOTES

- ALL YARD BOX INLETS TO BE KEPT CLEAN AND ACCESSIBLE.
- ROUTINE INSPECTION AND MAINTENANCE BY HOME OWNERS ASSOCIATION REQUIRED TO ENSURE PIPE CAPACITY.
- OVERFLOW ROUTING TO BE PROVIDED AND MAINTAINED BETWEEN YARD BOXES AND INFILTRATION PONDS BY HOME OWNERS ASSOCIATION.



CURRENT RETENTION POND GRADING (AS SHOWN) EXCEEDS FINAL GRADING REQUIREMENTS TO BE COMPLETED BY HOMEOWNER AT FINAL LOT GRADING. FINAL POND SIZE TO BE 613 CF FOR LOTS LESS THAN 10,000 SF; 918 CF FOR LOTS 10,000-15,000 SF AND 1,372 CF FOR LOTS 15,000-22,000.

LEI

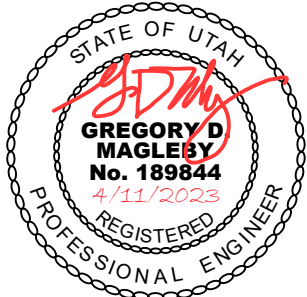
A Utah Corporation

ENGINEERS

SURVEYORS

PLANNERS

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Spanish Fork, UT 84660
Phone: 801.798.0555
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WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

YARD BOX GRADING PLAN

REVISIONS	
1	
2	
3	
4	
5	

LEI PROJECT #:
2013-0902

DRAWN BY:
BLS/MJV

CHECKED BY:
GDM/DAF

SCALE:
1" = 60'
(PRINTED ON A33)

DATE:
4/11/2023

EXISTING	PROPOSED	DETAILS
		BOUNDARY LINE
		STREET CENTERLINE
		EASEMENT LINE
		LOT LINES
EX SS	SS	SEWER PIPE
		SEWER MANHOLE
EX SD	SD	4" SEWER SERVICE
		STORM DRAIN PIPE (RCP)
		STORM DRAIN MANHOLE
		CURB INLET
		COMBO BOX
EX W	W	4"x4" CATCH BASIN
		3"x3" CATCH BASIN
		INLET/OUTLET W/ GRATE
		CULINARY WATER PIPE
		45" PIPE ELBOW (W)
		22.5" PIPE ELBOW (W)
		11.25" PIPE ELBOW (W)
		FIRE HYDRANT
		3/4" SERVICE & METER (W)
		PRV(W)
		AIR-VAC VALVE (W)
		2" BLOW-OFF (W)
		VALVE (W & SW)
		TEE
		CROSS
EX SW	SW	SECONDARY WATER PIPE
		45" PIPE ELBOW (SW)
		22.5" PIPE ELBOW (SW)
		11.25" PIPE ELBOW (SW)
		1" SINGLE SW SERVICE
		1-1/2" DUAL SW SERVICE
		SW SERVICE TO PARKS
		AIR-VAC VALVE (SW)
		BACKFLOW PREVENTER
		2" BLOW-OFF (SW)
		30" C&G (COLLECTOR)
		24" C&G (LOCAL)
		24" SHED C&G
		SIDEWALK
		STOP SIGN
		STREET SIGN
		MONUMENT
		SPRINKLER CONDUIT
		FENCE
		STREET LIGHT LOCAL
		STREET LIGHT COLLECTOR
		POWER POLE
EX PD	PD	DITCH
EX OD	OD	FIBER OPTIC
EX OP	OP	GAS
		OVERHEAD POWER
		FLOW ARROW
		CONTOURS
		100 YEAR FLOOD ROUTE
		MATCH LINE
		DRIVE APPROACH
		ADA RAMP
		TRAIL



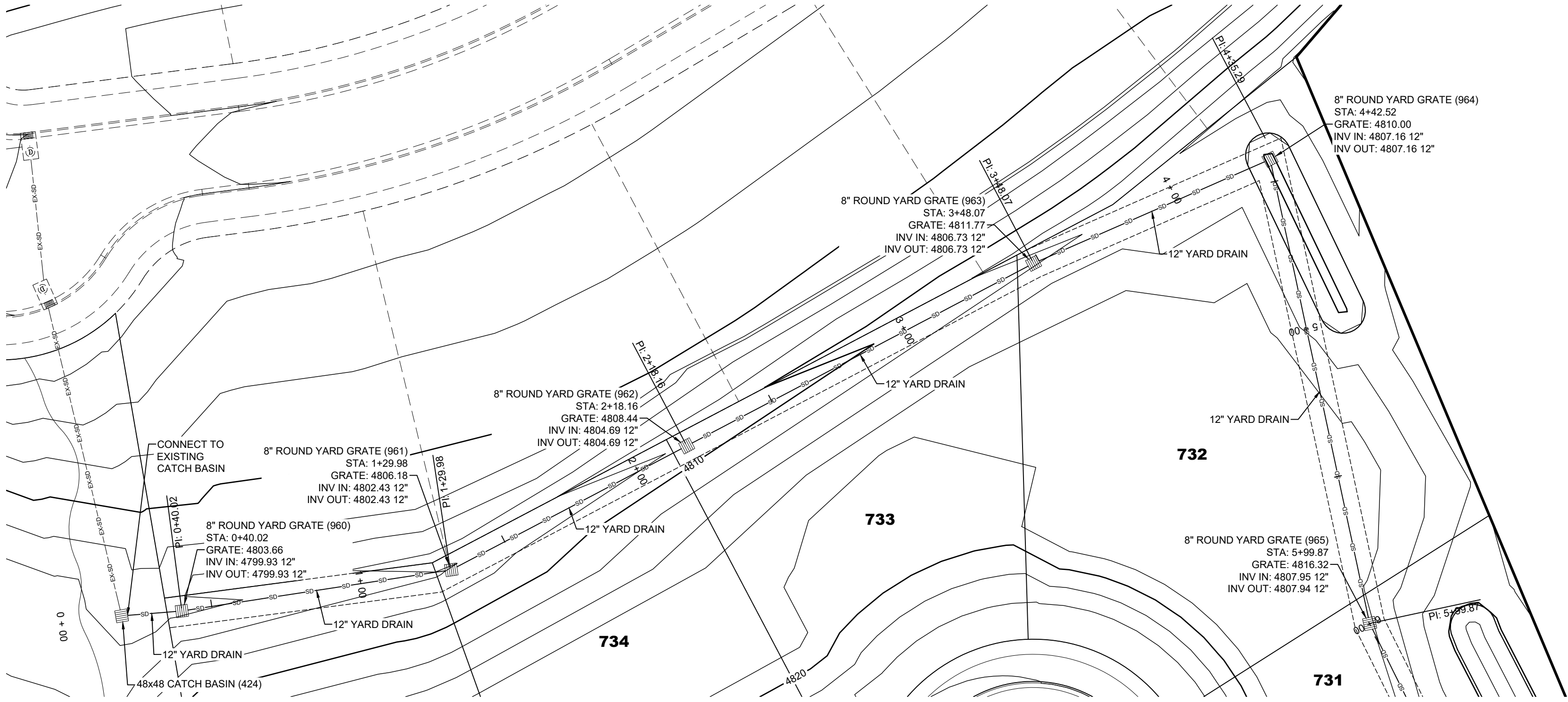
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(2) SEE PLAN & PROFILE FOR SIZE & MATERIAL
(3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
(4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS
(5) SEWER SERVICE MINIMUM SLOPE 2%

SHEET NOTES

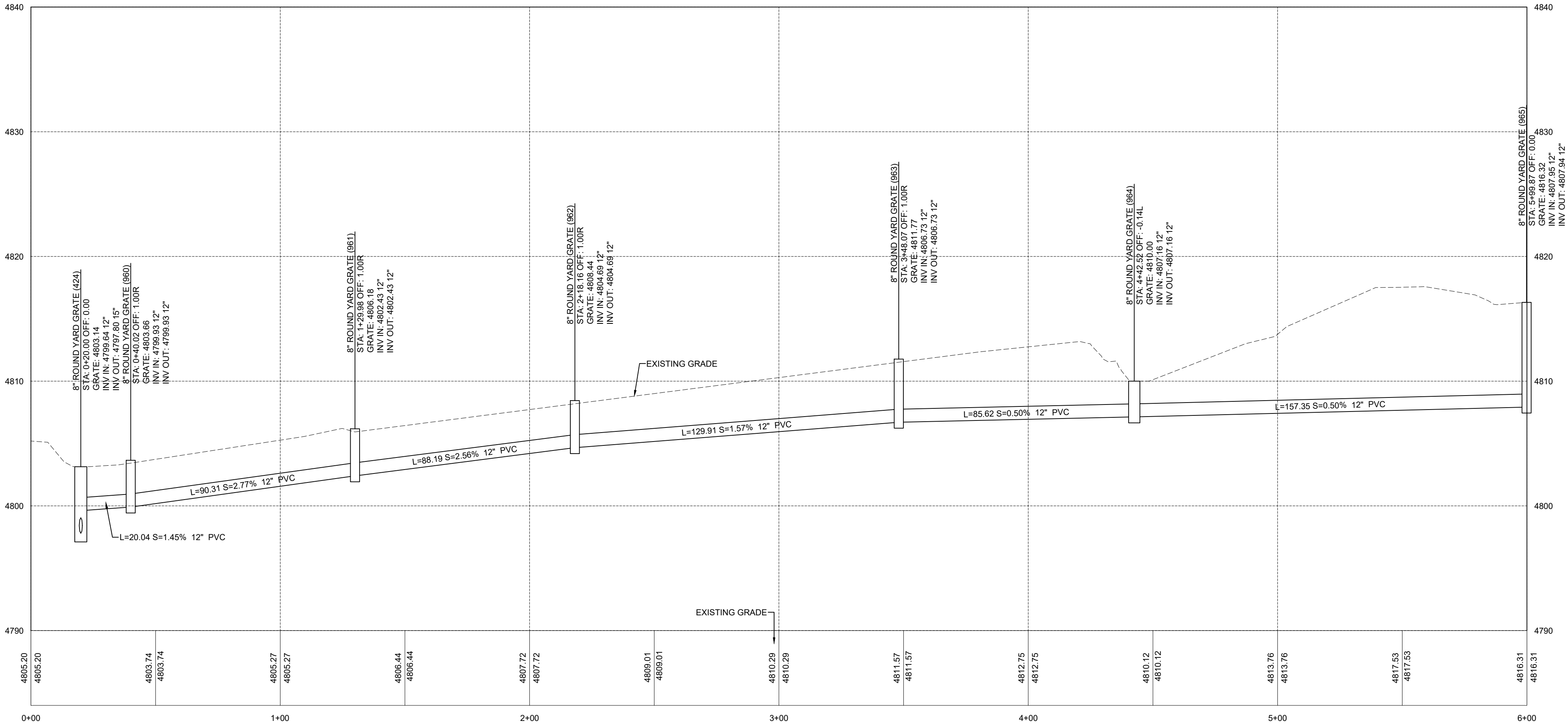
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YARD BOX NOTES

- ALL YARD BOX INLETS TO BE KEPT CLEAN AND ACCESSIBLE.
- ROUTINE INSPECTION AND MAINTENANCE BY HOME OWNERS ASSOCIATION REQUIRED TO ENSURE PIPE CAPACITY.
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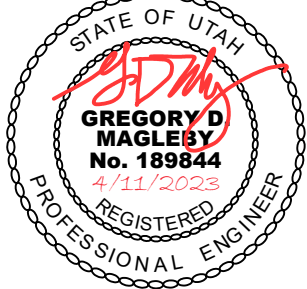


YARD BOX PLAN VIEW



YARD BOX PROFILE

LEI
- A Utah Corporation -
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WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

YARD BOX PLAN & PROFILE

STA: 6+00 TO 12+00

REVISIONS

1	-
2	-
3	-
4	-
5	-

LEI PROJECT #:

2013-0902

DRAWN BY:

BLS/MJV

CHECKED BY:

GDM/DAF

SCALE:

1" = 30'

(PORTION OF PLATS)

DATE

4/11/2023

SHEET

2

LEGEND		
EXISTING	PROPOSED	DETAILS
		BOUNDARY LINE
		STREET CENTERLINE
		EASEMENT LINE
		LOT LINES
-EX-SS-	SS	SEWER PIPE
	SS	SEWER MANHOLE
-EX-SD-	SD	4" SEWER SERVICE
	SD	STORM DRAIN PIPE (RCP)
	SD	STORM DRAIN MANHOLE
	SD	CURB INLET
	SD	COMBO BOX
-EX-W-	W	4"x4" CATCH BASIN
	W	3"x3" CATCH BASIN
	W	INLET/OUTLET W/ GRATE
	W	CULINARY WATER PIPE
	W	45" PIPE ELBOW (W)
	W	22.5" PIPE ELBOW (W)
	W	11.25" PIPE ELBOW (W)
	W	FIRE HYDRANT
	W	3/4" SERVICE & METER (W)
	W	PRV(W)
		AIR-VAC VALVE (W)
		2" BLOW-OFF (W)
		VALVE (W & SW)
		TEE
		CROSS
-EX-SW-	SW	SECONDARY WATER PIPE
	SW	45" PIPE ELBOW (SW)
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	SW	2" BLOW-OFF (SW)
	SW	30" C&G (COLLECTOR)
	SW	24" C&G (LOCAL)
	SW	24" SHED C&G
	SW	SIDEWALK
		STOP SIGN
		STREET SIGN
		MONUMENT
		SPRINKLER CONDUIT
		FENCE
		STREET LIGHT LOCAL
		STREET LIGHT COLLECTOR
		POWER POLE
		DITCH
-EX-FO-	FO	FIBER OPTIC
-EX-GAS-	GAS	GAS
-EX-OWP-	OWP	OVERHEAD POWER
		FLOW ARROW
		CONTOURS
		100 YEAR FLOOD ROUTE
		MATCH LINE
		DRIVE APPROACH
		ADA RAMP
		TRAIL



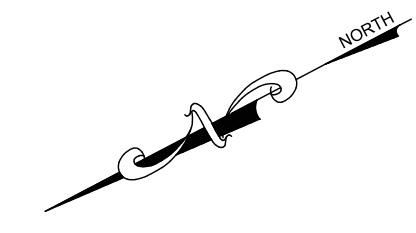
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(3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
(4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS
(5) SEWER SERVICE MINIMUM SLOPE 2%

SHEET NOTES

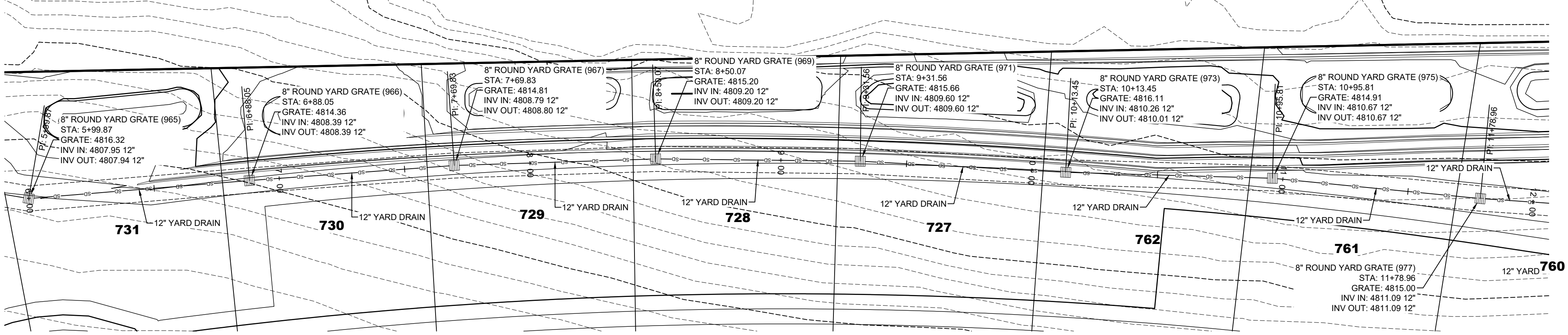
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YARD BOX NOTES

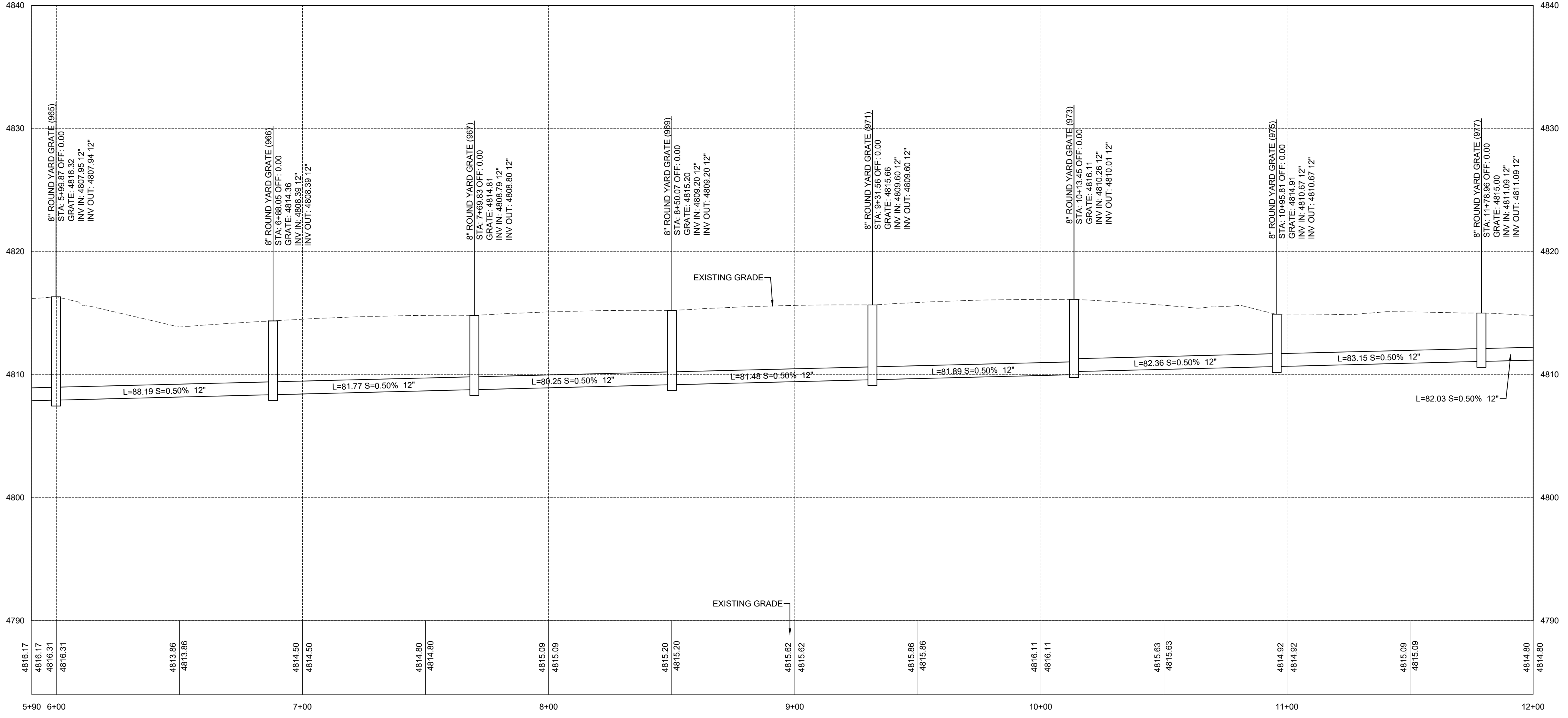
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SCALE IN FEET: 1" = 30'



YARD BOX PLAN VIEW
CENTER LINE OMITTED FOR CLARITY



YARD BOX PROFILE

LEI

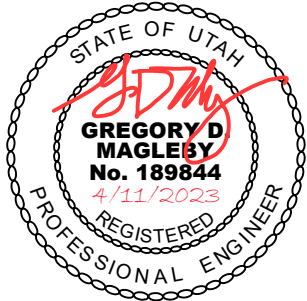
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ENGINEERS

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WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH
YARD BOX PLAN & PROFILE
STA: 6+00 TO 12+00

REVISIONS

1	-
2	-
3	-
4	-
5	-

LEI PROJECT #:

2013-0902

DRAWN BY:

BLS/MJV

CHECKED BY:

GDM/DAF

SCALE:

1" = 30'

(PRINTED ON A436)

DATE:

4/11/2023

SHEET

EXISTING	PROPOSED	DETAILS
		BOUNDARY LINE
		STREET CENTERLINE
		EASEMENT LINE
		LOT LINES
EX-SS	SS	SEWER PIPE
	SS	SEWER MANHOLE
EX-SD	SD	4" SEWER SERVICE
	SD	STORM DRAIN PIPE (RCP)
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	W	AIR-VAC VALVE (W)
	W	2" BLOW-OFF (W)
	W	VALVE (W & SW)
	W	TEE
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	SW	1" SINGLE SW SERVICE
	SW	1-1/2" DUAL SW SERVICE
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	SW	AIR-VAC VALVE (SW)
	SW	BACKFLOW PREVENTER
	SW	2" BLOW-OFF (SW)
	SW	30" C&G COLLECTOR
	SW	24" C&G (LOCAL)
	SW	24" SHED C&G
	SW	SIDEWALK
	SW	STOP SIGN
	SW	STREET SIGN
	SW	MONUMENT
	SW	SPRINKLER CONDUIT
	SW	FENCE
	SW	STREET LIGHT LOCAL
	SW	STREET LIGHT COLLECTOR
	SW	POWER POLE
	SW	DITCH
EX-FO	FO	FIBER OPTIC
EX-GAS	GAS	GAS
EX-OW	OW	OVERHEAD POWER
	OW	FLOW ARROW
	OW	CONTOURS
	OW	100 YEAR FLOOD ROUTE
	OW	MATCH LINE
	OW	DRIVE APPROACH
	OW	ADA RAMP
	OW	TRAIL



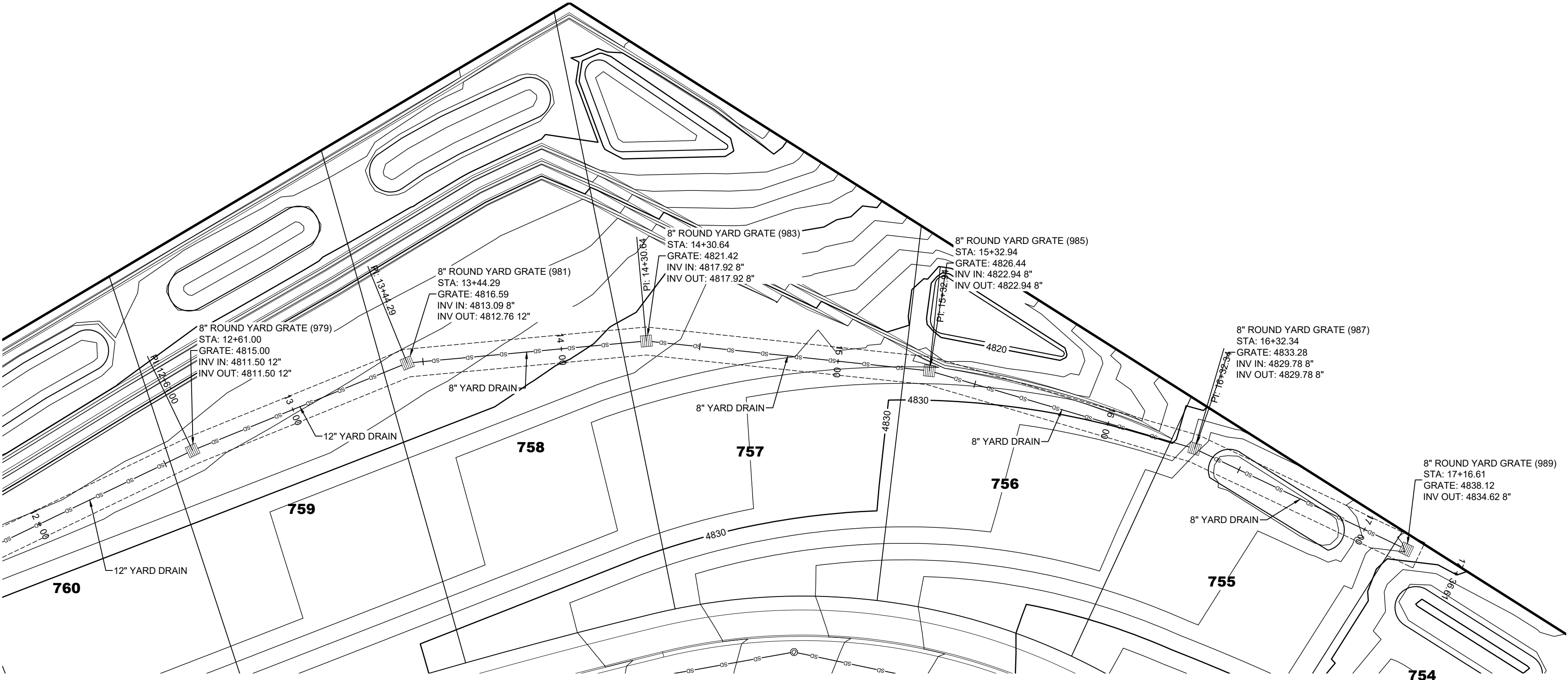
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(*)SEWER SERVICE MINIMUM SLOPE 2%.

SHEET NOTES

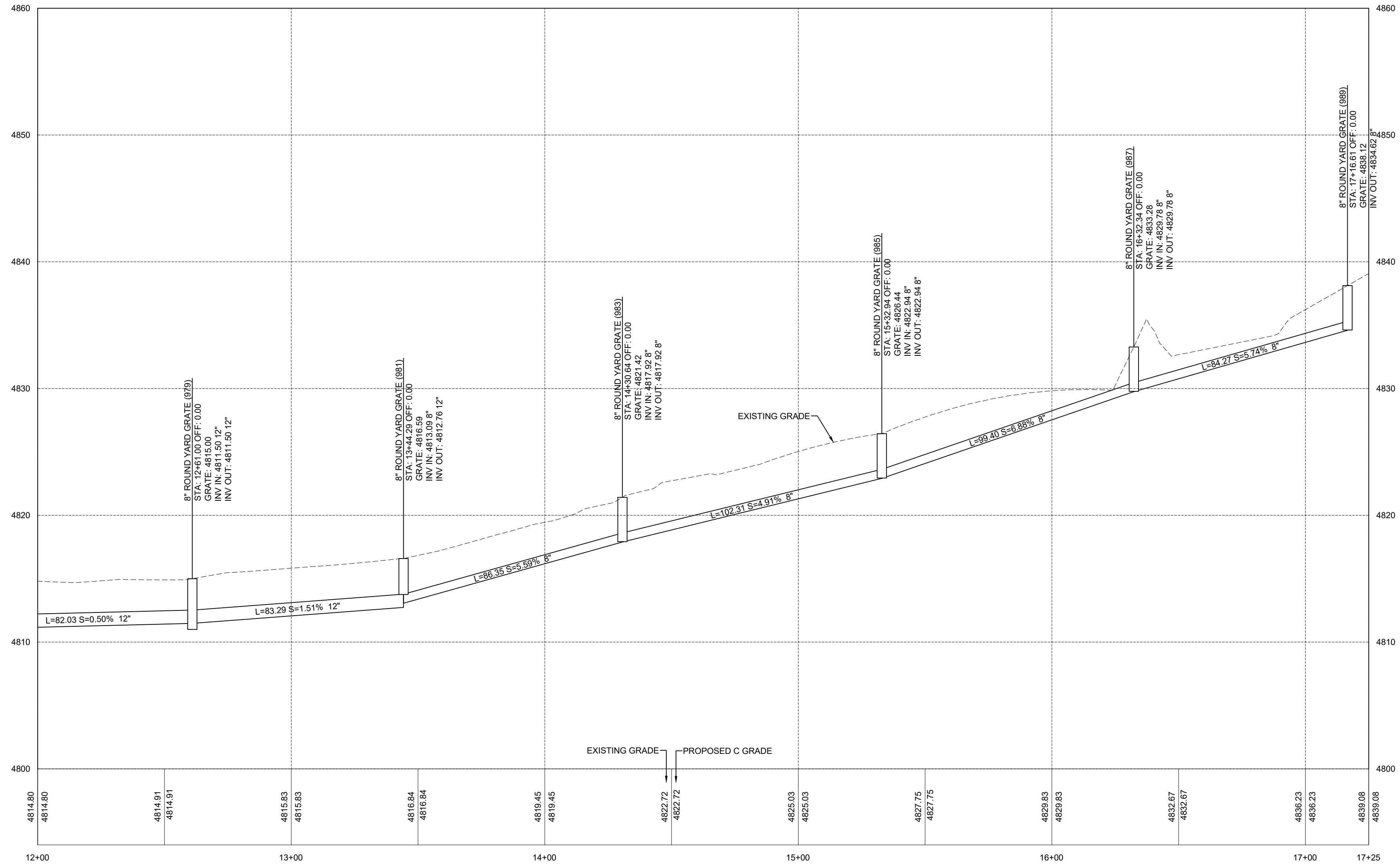
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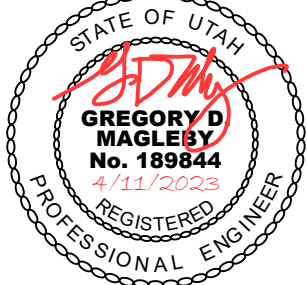


YARD BOX PLAN VIEW



YARD BOX PROFILE

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- A Utah Corporation -
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WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

YARD BOX PLAN & PROFILE

STA: 6+00 TO 12+00

REVISIONS

1	-
2	-
3	-
4	-
5	-

LEI PROJECT #:

2013-0902

DRAWN BY:

BLS/MJV

CHECKED BY:

GDM/DAF

SCALE:

1" = 30'

(PRINTED ON A3)

DATE

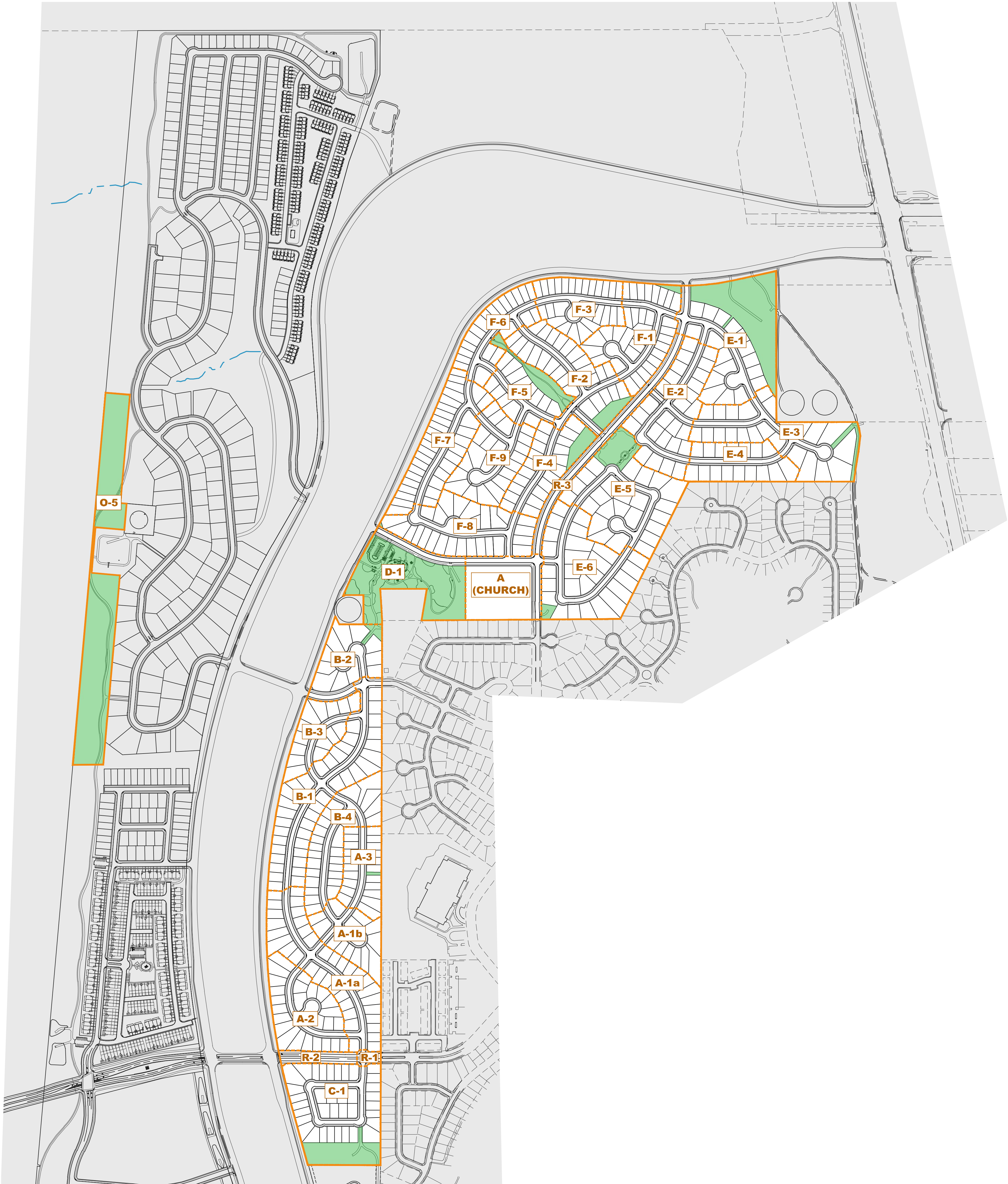
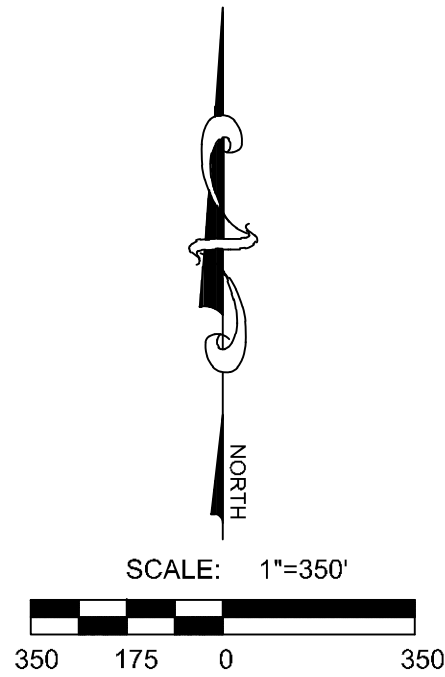
4/11/2023

SHEET



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ENGINEERS
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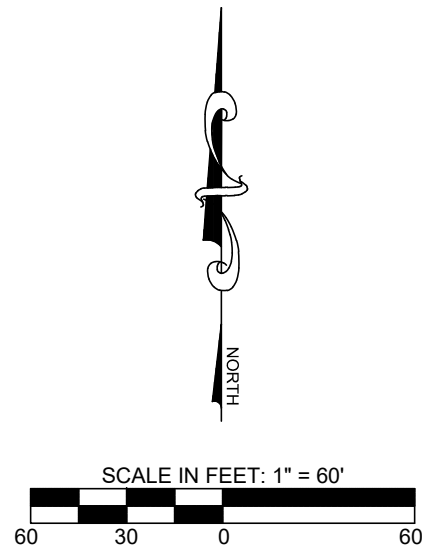
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WILDFLOWER
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH
VILLAGE 1 - OPEN SPACE EXHIBIT

REVISIONS	
1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2013-0902
DRAWN BY:
BLS
DESIGNED BY:
GDM
SCALE:
1"=350'
DATE:
7/31/2020



LEI

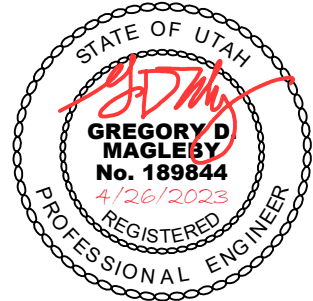
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WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

YARD BOX EASEMENT EXHIBIT

REVISIONS	
1	
2	
3	
4	
5	

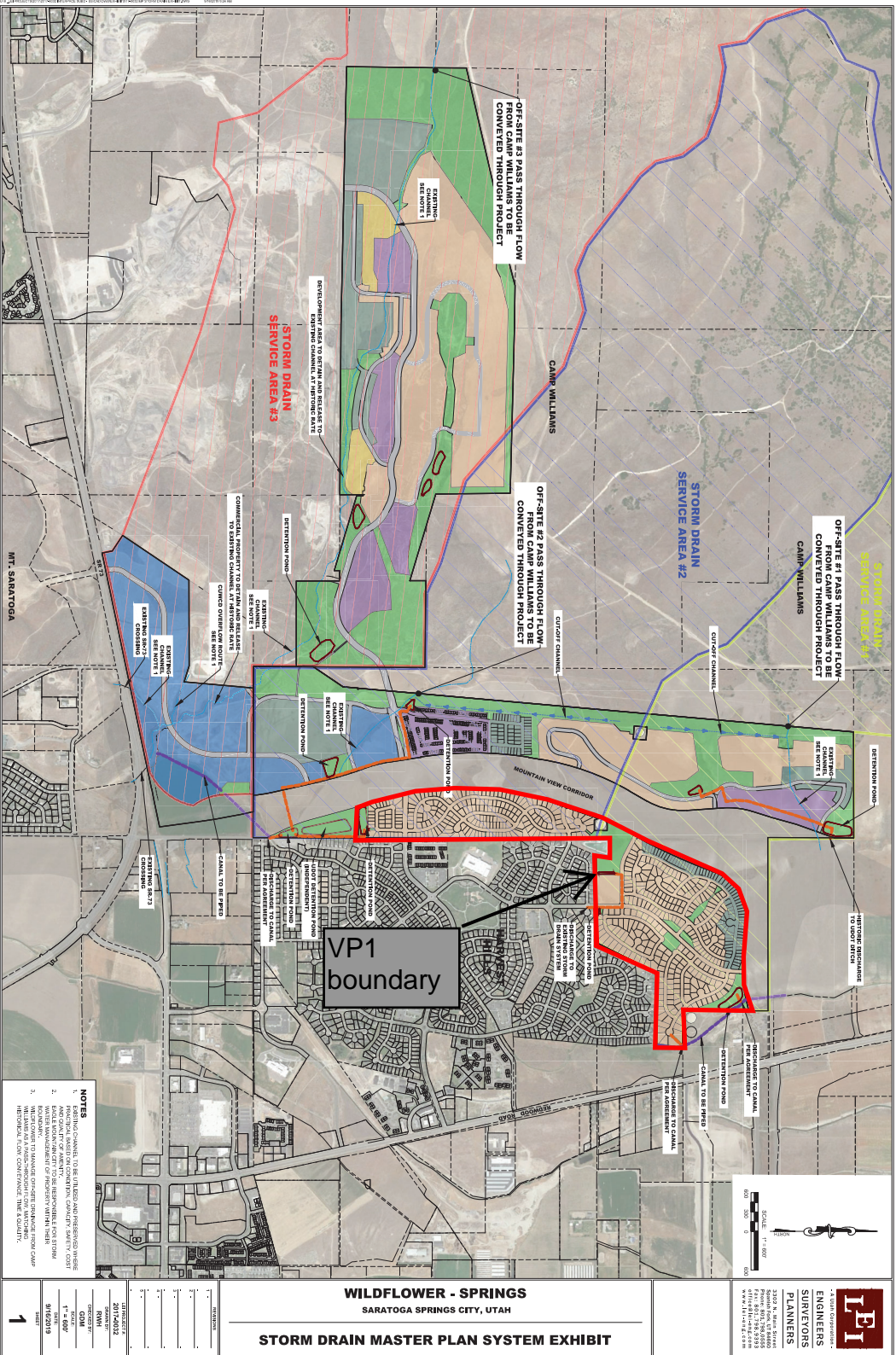
LEI PROJECT #:
2013-0902

DRAWN BY:
BLS/MJV

CHECKED BY:
GDM/DAF

SCALE:
1" = 60'
(PRINTED ON A436)

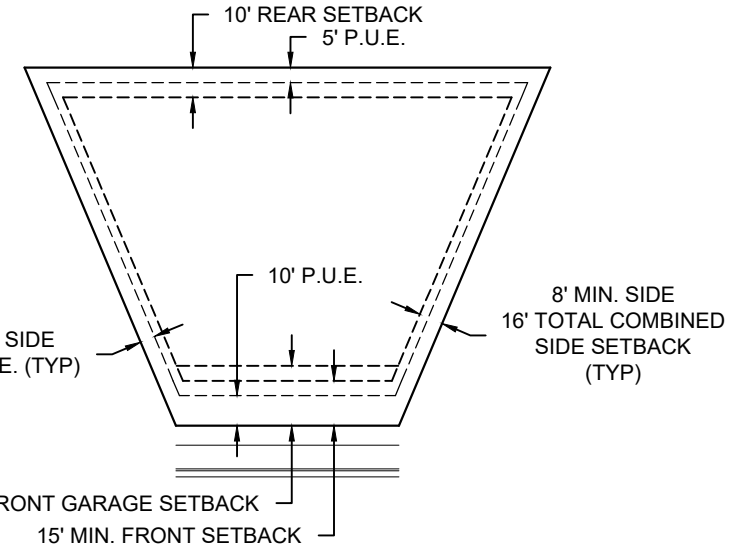
DATE:
4/26/2023



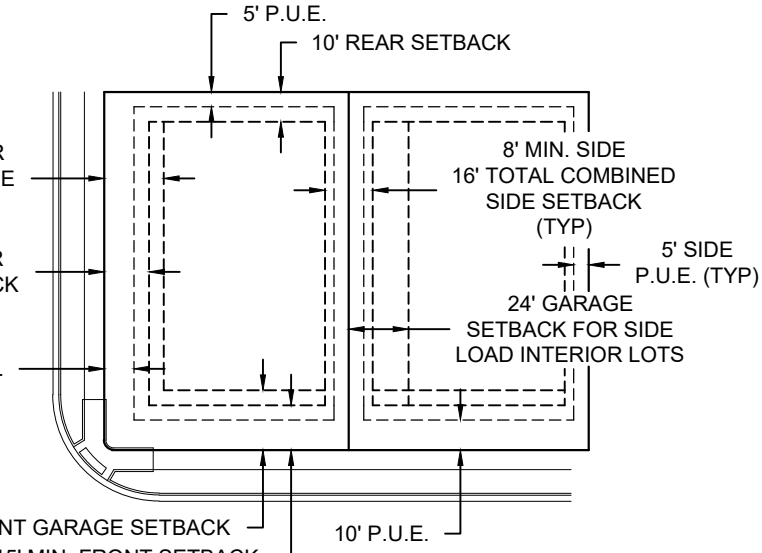
NOTES

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE DAY OF 20.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____," WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. ALL OPEN SPACE, COMMON AREAS, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
7. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
8. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
9. LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S.
10. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY INFINITY CONSULTANTS, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
11. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS USES AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
12. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
13. THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1959 UTAH COUNTY MONUMENT AT THE NORTH 1/4 CORNER OF SECTION 10, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATION OF 4,896.76 FEET.
14. AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "A" AS DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 49040C0208F WITH AN EFFECTIVE DATE OF JUNE 19, 2020.
15. A TITLE REPORT PREPARED BY UNITED WEST TITLE FILE NO UJW-12325, EFFECTIVE DATE: JULY 6, 2022, WAS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.
16. ANY LOT WITH A 15 FOOT OR LESS FRONT SETBACK SHALL PROVIDE PROPER CLEARANCE TO MEET DOMINION ENERGY STANDARDS. ADDITIONAL FRONT SETBACKS MAY BE REQUIRED TO MEET DOMINION ENERGY & ROCKY MOUNTAIN POWER STANDARDS.
17. SHALLOW SEWER DEPTHS: CONTRACTOR SHALL VERIFY SEWER DEPTHS BEFORE EXCAVATING FOR BASEMENT FOUNDATIONS, HOME(S) WITH BASEMENT(S) MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
18. COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY AND DRAINAGE EASEMENTS FOR THE CITY OF SARATOGA SPRINGS.
19. WILDFLOWER HOME OWNERS ASSOCIATION SHALL MAINTAIN ALL SURFACE IMPROVEMENTS TO COMMON AREAS.
20. COMMON AREAS TO BE CONVEYED TO THE WILDFLOWER MASTER HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS 14034 SOUTH 145 EAST SUITE 204, DRAPER, UTAH, 84020
21. 50% MAX LOT COVERAGE STANDARD ON LOTS.

TYPICAL SETBACK & P.U.E. DETAIL



CUL-DE-SAC OR KNUCKLE LOT



CORNER & INTERIOR LOT

- SETBACK NOTES:
1. ALL REAR & SIDE P.U.E TO ALSO BE STORM DRAINAGE EASEMENTS IN THEIR ENTIRETY.
 2. ALL LOTS THAT UTILIZE A 15 FOOT FRONT SETBACK SHALL PROVIDE PROPER BUFFERING TO MEET DOMINION ENERGY STANDARDS. FAILURE TO MEET PROPER BUFFERING BETWEEN THE PRIVATE UTILITIES AND PUBLIC RIGHT-OF-WAY MAY RESULT IN ADDITIONAL SETBACK REQUIREMENTS AND/OR REMOVAL OF FOUNDATIONS TO MEET THIS REQUIREMENT.
 3. REAR OR SIDE LOT LINES ON A COLLECTOR STREET TO HAVE A 10 FOOT PUBLIC UTILITY EASEMENT.

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	30.00	16°17'32"	8.53	S74°20'19"W 8.50
C2	30.00	7°07'24"	3.73	S86°02'47"W 3.73
C3	228.00	7°11'41"	28.63	N86°00'40"E 28.61
C4	228.00	18°20'58"	73.02	N73°14'20"E 72.71
C5	228.00	18°20'42"	73.00	N54°53'30"E 72.69
C6	228.00	2°00'31"	7.99	N44°42'53"E 7.99
C7	1835.14	2°10'42"	69.77	N42°37'17"E 69.77
C8	1835.14	2°26'51"	78.39	N40°18'30"E 78.38
C9	1835.14	2°26'15"	78.07	N37°51'57"E 78.07
C10	1835.14	2°27'19"	78.64	N35°25'10"E 78.64
C11	1835.14	2°27'08"	78.54	N32°57'57"E 78.53

TABULATIONS

PLAT E-6 AMENDED	
LOTS	9 LOTS
PARCELS	0 PARCELS
BUILDINGS	0 BUILDINGS
DWELLINGS	9 DWELLINGS
DENSITY	3.42 UNITS/ ACRE
MINIMUM LOT SIZE	0.19 ACRES / 8,357 SF
MAXIMUM LOT SIZE	0.40 ACRES / 17,640 SF
AVERAGE LOT SIZE	0.29 ACRES / 12,715 SF

TOTAL PROJECT AREA	2.63	114,438	100%	
RIGHT-OF-WAY AREA (TO BE DEDICATED)	0.00	0.00	0%	
LOT AREA	2.63	114,438	100%	
OPEN SPACE AREA	0.00	0.00	0%	
SENSITIVE LAND	0.00	0.00	0%	
NON-SENSITIVE OS	0.00	0.00	0%	
BUILDABLE LAND	2.63	114,438	100%	
SENSITIVE LAND	0.00	0.00	0%	
LANDSCAPE AREA (DEDICATED ROW)	0.00	0.00	0%	
IMPERVIOUS AREA (DEDICATED ROW)	0.00	0.00	0%	
NUMBER OF GARAGE PARKING SPACES			0	
NUMBER OF DRIVEWAY PARKING SPACES			0	
NUMBER OF STRIPED PARKING STALLS			0	



WILDFLOWER VILLAGE 1 (NORTH) PLAT E-6 AMENDED

AMENDING OF LOTS 754-762 OF WILDFLOWER VILLAGE 1 (NORTH) PLAT E-6
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

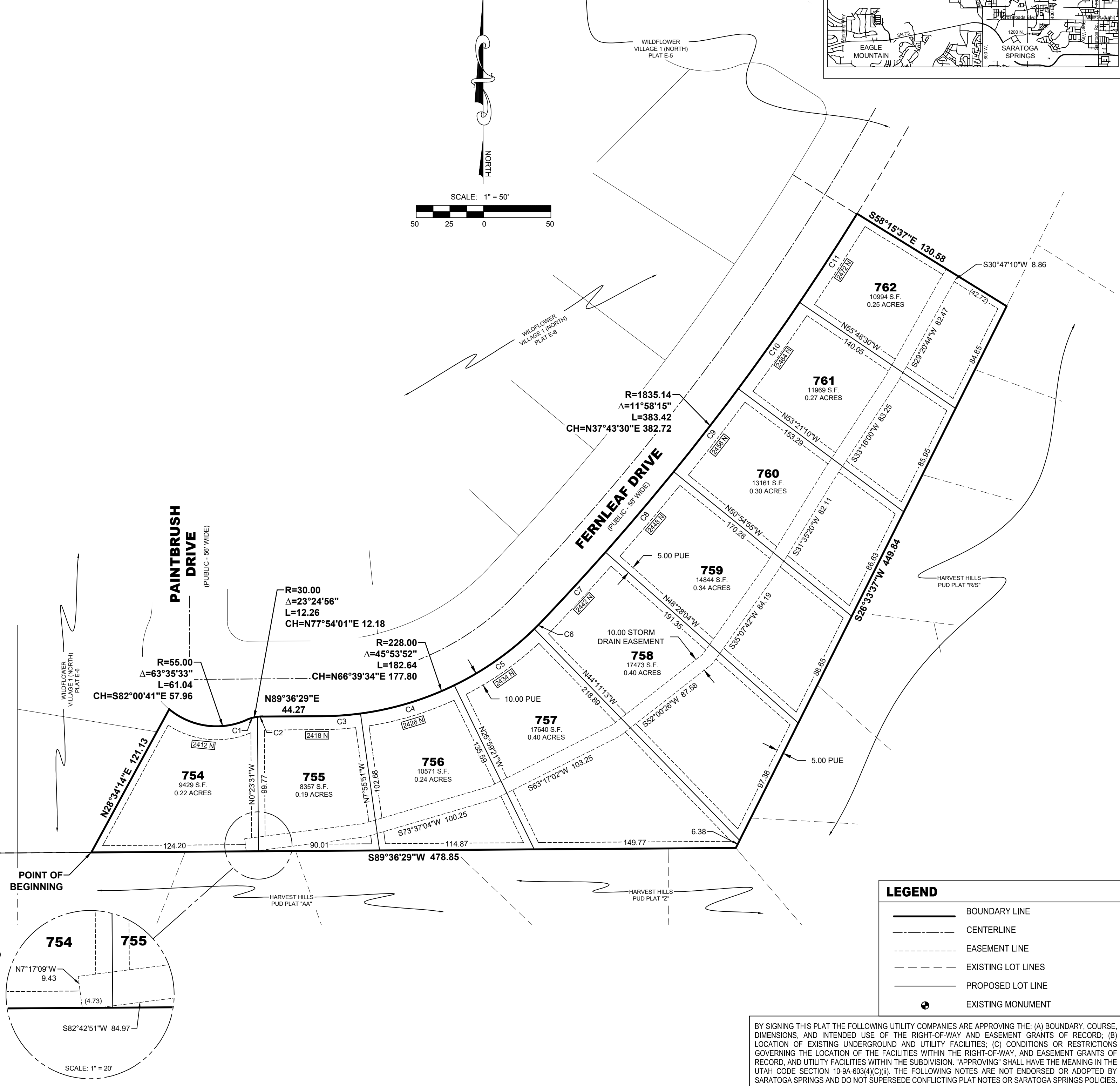
NORTH 1/4 CORNER OF SECTION 3, T5S R1W (CALCULATED)

QUARTER SECTION LINE
N0°17'28"E 5333.39

QUARTER SECTION LINE-BASIS OF BEARING
S0°11'02"W 5319.15

NORTH 1/4 CORNER OF SECTION 10, T5S R1W FOUND: (UTAH COUNTY MONUMENT 1959)

SOUTH 1/4 CORNER OF SECTION 10, T5S R1W FOUND: (UTAH COUNTY MONUMENT 2002)



DOMINION ENERGY DOMINION ENERGY CORPORATION

DOMINION ENERGY DOMINION ENERGY CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS, DOMINION ENERGY DOMINION ENERGY CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY DOMINION ENERGY CORPORATIONS RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

BY: _____

DOMINION ENERGY DOMINION ENERGY CORP. TITLE: _____

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. 17-2A-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT EFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

a. A RECORDED EASEMENT OR RIGHT-OF-WAY

b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS

c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR

d. ANY OTHER PROVISION OF LAW

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

ROCKY MOUNTAIN POWER

PLANNING DIRECTOR

APPROVED BY THE PLANNING DIRECTOR ON THIS ____ DAY OF _____, A.D. 20 ____.

PLANNING DIRECTOR

CITY ENGINEER

APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF _____, A.D. 20 ____.

CITY ENGINEER

LAND USE AUTHORITY

APPROVED BY THE LAND USE AUTHORITY ON THIS ____ DAY OF _____, A.D. 20 ____.

PLANNING DIRECTOR

FIRE CHIEF

APPROVED BY THE FIRE CHIEF ON THIS ____ DAY OF _____, A.D. 20 ____.

CITY FIRE CHIEF

CENTURY LINK

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

CENTURY LINK

COMCAST CABLE TELEVISION

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

COMCAST CABLE TELEVISION

SARATOGA SPRINGS ATTORNEY

APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS ____ DAY OF _____, A.D. 20 ____.

SARATOGA SPRINGS ATTORNEY

LEHI CITY POST OFFICE

APPROVED BY POST OFFICE REPRESENTATIVE ON THIS ____ DAY OF _____, A.D. 20 ____.

LEHI CITY POST OFFICE REPRESENTATIVE

SURVEYOR'S CERTIFICATE

I, CHAD A. POULSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 501182, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8a-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PARCEL OF LAND, AMENDING LOTS 754 THROUGH 762 OF WILDFLOWER VILLAGE 1 (NORTH) PLAT E-6, DESCRIBED IN ENTRY NUMBER 102818-2022, IN THE OFFICIAL RECORDS OF THE UTAH COUNTY RECORDER, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF PARCEL A OF SAID WILDFLOWER VILLAGE 1 (NORTH) PLAT E-6, BEING N89°36'29"E 1134.43 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 3, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (BASIS OF BEARING: S00°11'02"W ALONG THE QUARTER SECTION LINE FROM THE NORTH QUARTER CORNER TO THE SOUTH QUARTER CORNER OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN); THENCE ALONG SAID LOTS 754 THROUGH 762 THE FOLLOWING NINE (9) COURSES: N28°34'14"E 121.13 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 61.04 FEET WITH A RADIUS OF 55.00 FEET THROUGH HIGH CENTRAL ANGLE OF 0°35'33", CHORD: S82°00'41"E 57.96 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 12.26 FEET WITH A RADIUS OF 30.00 FEET THROUGH A CENTRAL ANGLE OF 23°24'56", CHORD: N77°54'01"E 12.18 FEET; THENCE N89°36'29"E 44.27 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 182.64 FEET WITH A RADIUS OF 228.00 FEET THROUGH A CENTRAL ANGLE OF 45°53'52", CHORD: N66°39'34"E 177.80 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 383.42 FEET WITH A RADIUS OF 1835.14 FEET THROUGH A CENTRAL ANGLE OF 11°58'15", CHORD: N37°43'30"E 382.72 FEET; THENCE S58°15'37"E 130.58 FEET; THENCE S26°53'37"W 449.84 FEET; THENCE S89°36'29"W 478.85 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±2.63 ACRES
114,438 SQ. FT.
9 LOTS
0 PARCELS

DATE _____ SURVEYOR'S NAME _____
LICENSE NO. 501182 (See Seal Below)

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHT-OF-WAY, TO BE HEREAFTER KNOWN AS:

WILDFLOWER VILLAGE 1 (NORTH) SUBDIVISION PLAT E-6 AMENDED

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHT-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. PURSUANT TO UTAH CODE 10-9A-604(D), THE OWNER(S) HEREBY CONVEYS THE COMMON AREA, AS INDICATED HEREON, TO THE WILDFLOWER MASTER HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS OF 14034 SOUTH 145 EAST SUITE 204, DRAPER, UTAH, 84020. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS ____ DAY OF _____, A.D. 20 ____.

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH
S.S.
COUNTY OF UTAH

ON THIS ____ DAY OF _____, 20 ____, I, _____, PERSONALLY APPEARED BEFORE ME _____, WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/IT HEY EXECUTED THE SAME IN HIS/HER/ITHEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/ITHEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC SIGNATURE: _____
PRINT NAME AS COMMISSIONED: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS ____ DAY OF _____, A.D. 20 ____.

CITY MAYOR _____ ATTEST _____ CLERK-RECORDER _____
(See Seal Below)

WILDFLOWER VILLAGE 1 (NORTH) PLAT E-6 AMENDED

AMENDING OF LOTS 754-762 OF WILDFLOWER VILLAGE 1 (NORTH) PLAT E-6
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 1

SURVEYOR'S SEAL
CITY ENGINEER SEAL
CLERK-RECORDER SEAL

CHAD A. POULSEN
No. 501182
2-29-2022
PROFESSIONAL LAND SURVEYOR

This form approved by Utah County and the municipalities therein. LEI #13-0902