

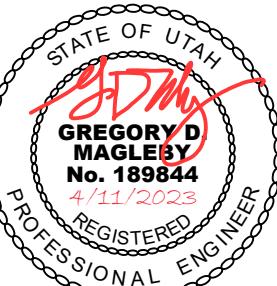
A Utah Corporation -

ENGINEERS

SURVEYORS

PLANNERS

302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
Office@lei-eng.com
www.lei-eng.com



WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

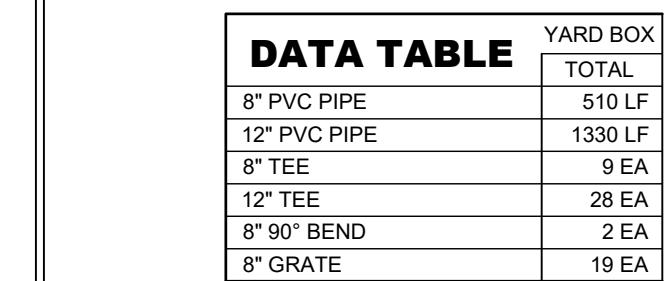
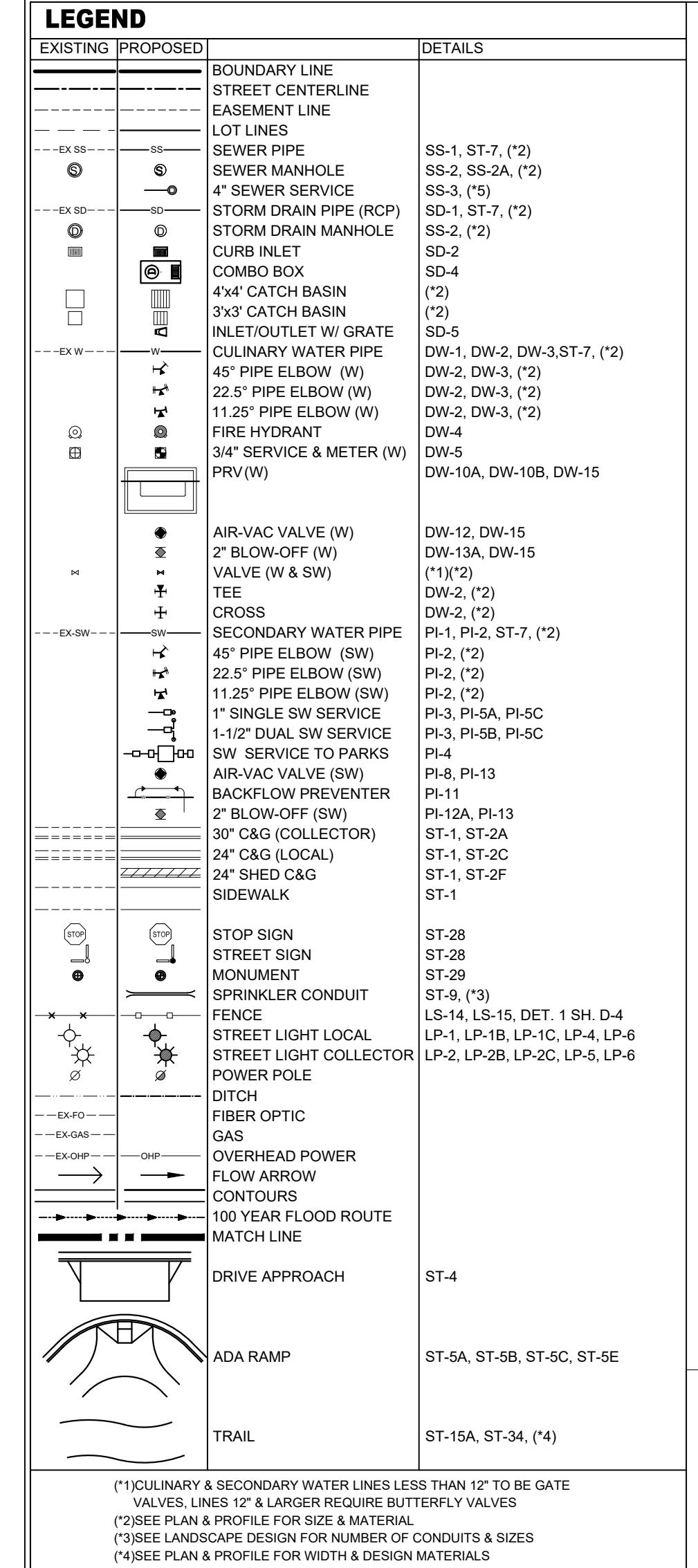
YARD BOX GRADING PLAN

1 -
2 -
3 -
4 -
5 -

REI PROJECT
2013-01
DRAWN BY
BLS/M
CHECKED BY
GDM/D
SCALE
1" = 0'
PRINTED ON
DATE
4/11/2013

ST #:
02
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JV
BY:
AF
0'
(x36)
23

1

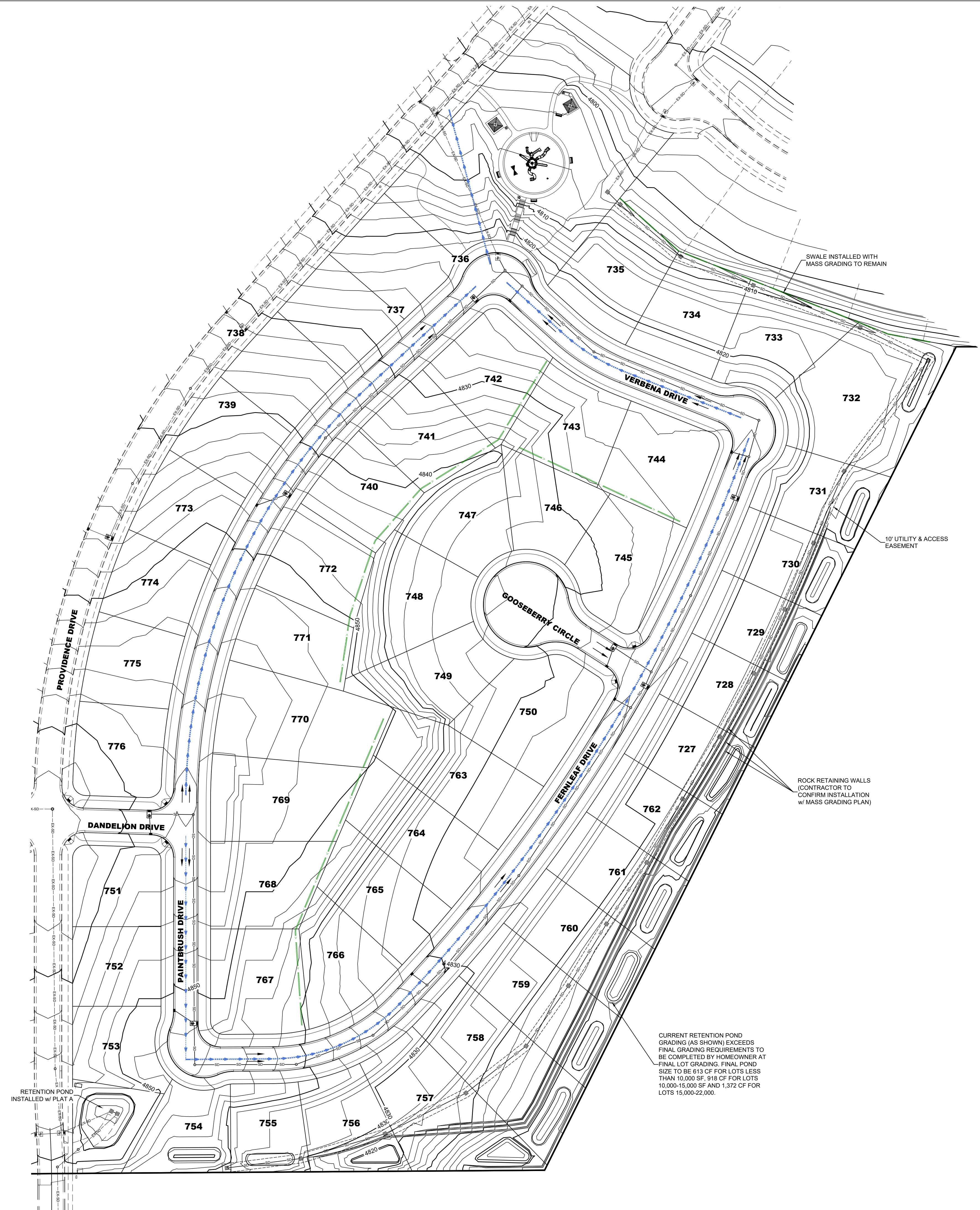


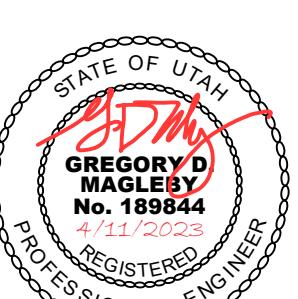
SHEET NOTES

1. THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1959 UTAH COUNTY MONUMENT AT THE NORTH 1/4 CORNER OF SAID SECTION 10, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATIONS OF 4,896.76 FEET.
2. SEE PLAN & PROFILE SHEETS FOR INFRASTRUCTURE DATA, PIPE SIZES, MATERIALS, SLOPES, JUNCTION BOXES, INLETS, CATCH BASINS, & SERVICE LATERAL LOCATIONS.
3. AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4955170105B WITH AN EFFECTIVE DATE OF JULY 17, 2002.

YARD BOX NOTES

1. ALL YARD BOX INLETS TO BE KEPT CLEAN AND ACCESSIBLE.
2. ROUTINE INSPECTION AND MAINTENANCE BY HOME OWNERS ASSOCIATION REQUIRED TO ENSURE PIPE CAPACITY.
3. OVERFLOW ROUTING TO BE PROVIDED AND MAINTAINED BETWEEN YARD BOXES AND INFILTRATION PONDS BY HOME OWNERS ASSOCIATION.





| EXISTING | PROPOSED | DETAILS |
|----------|----------|--------------------------------|
| — | — | BOUNDARY LINE |
| — | — | STREET CENTERLINE |
| — | — | EASEMENT LINE |
| — | — | LOT LINES |
| — | — | SEWER PIPE |
| — | — | SEWER MANHOLE |
| — | — | 4" SEWER SERVICE |
| — | — | STORM DRAIN PIPE (RCP) |
| — | — | STORM DRAIN MANHOLE |
| — | — | CURB INLET |
| — | — | COMBO BOX |
| — | — | 4x4' CATCH BASIN |
| — | — | 3x3' CATCH BASIN |
| — | — | 3x3' CATCH BASIN |
| — | — | INLET/OUTLET W/ GRATE |
| — | — | CULINARY/WATER PIPE |
| — | — | 45° PIPE ELBOW (W) |
| — | — | 22.5° PIPE ELBOW (W) |
| — | — | 11.25° PIPE ELBOW (W) |
| — | — | FIRE HYDRANT |
| — | — | 3/4" SERVICE & METER (W) |
| — | — | PRV(W) |
| — | — | AIR-VAC VALVE (W) |
| — | — | 2" BLOW-OFF (W) |
| — | — | VALVE (W & SW) |
| — | — | TEE |
| — | — | CROSS |
| — | — | SECONDARY WATER PIPE |
| — | — | 45° PIPE ELBOW (SW) |
| — | — | 22.5° PIPE ELBOW (SW) |
| — | — | 11.25° PIPE ELBOW (SW) |
| — | — | 1" SINGLE SW SERVICE |
| — | — | 1-1/2" DUAL SW SERVICE |
| — | — | SW SERVICE TO PARKS |
| — | — | AIR-VAC VALVE (SW) |
| — | — | BACKFLOW PREVENTER |
| — | — | STOP SIGN |
| — | — | STREET SIGN |
| — | — | MONUMENT |
| — | — | SPRINKLER CONDUIT |
| — | — | FENCE |
| — | — | STREET LIGHT LOCAL |
| — | — | STREET LIGHT COLLECTOR |
| — | — | POWER POLE |
| — | — | DITCH |
| — | — | FIBER OPTIC |
| — | — | EX-GAS |
| — | — | EX-GAS |
| — | — | OVERHEAD POWER |
| — | — | FLOW ARROW |
| — | — | CONTOURS |
| — | — | 100 YEAR FLOOD ROUTE |
| — | — | MATCH LINE |
| — | — | DRIVE APPROACH |
| — | — | ADA RAMP |
| — | — | TRAIL |
| — | — | ST-28 |
| — | — | ST-28 |
| — | — | ST-29 |
| — | — | ST-9, (*3) |
| — | — | LS-14, LS-15, DET. 1 SH. D-4 |
| — | — | LP-1, LP-1B, LP-1C, LP-4, LP-6 |
| — | — | LP-2, LP-2B, LP-2C, LP-5, LP-6 |
| — | — | ST-4 |
| — | — | ST-5A, ST-5B, ST-5C, ST-5E |
| — | — | ST-15A, ST-34, (*4) |

(*1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES
(*2) SEE PLAN & PROFILE FOR SIZE & MATERIAL
(*3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
(*4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS
(*5) SEWER SERVICE MINIMUM SLOPE 2%

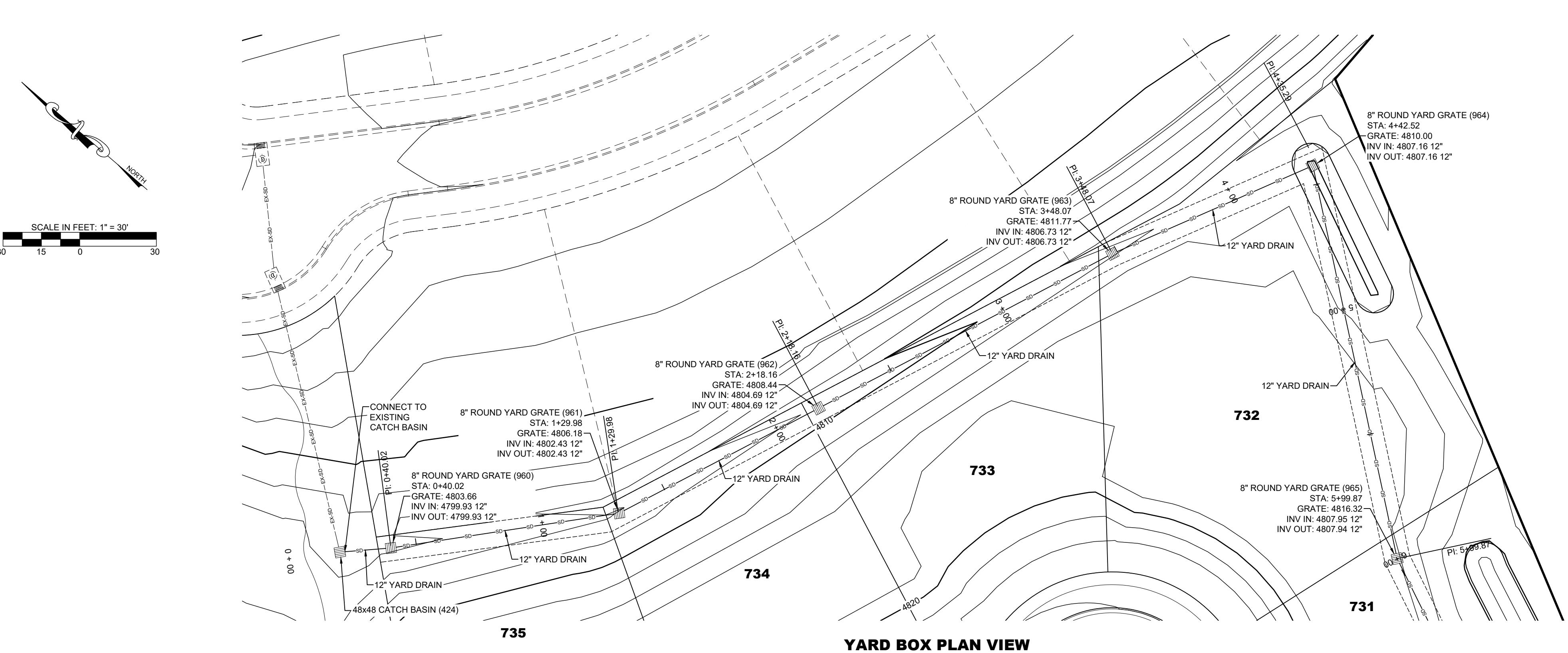


SHEET NOTES

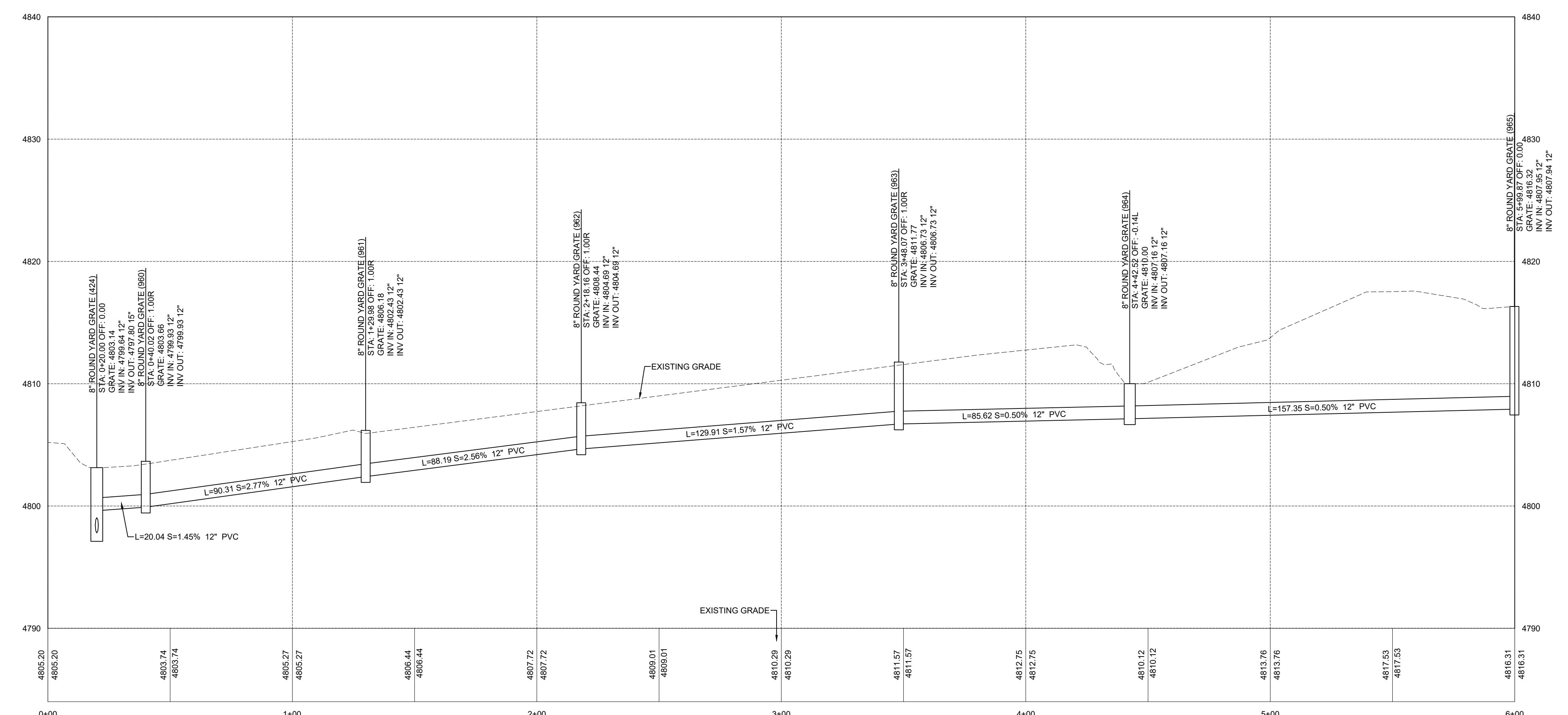
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YARD BOX NOTES

1. ALL YARD BOX INLETS TO BE KEPT CLEAN AND ACCESSIBLE.
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YARD BOX PLAN VIEW



YARD BOX PROFILE

WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

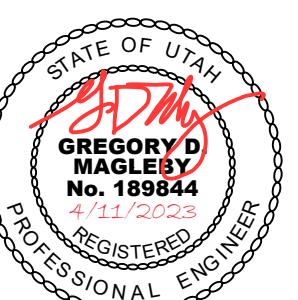
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

YARD BOX PLAN & PROFILE
STA: 6+00 TO 12+00

LEI PROJECT #: 2013-0902
DRAWN BY: BLS/MJV
CHECKED BY: GDM/DAF
SCALE: 1" = 30'
(PRINTED ON 24x36)
DATE: 4/11/2023

SHEET

2



| EXISTING | PROPOSED | DETAILS |
|----------|----------|--|
| — | — | BOUNDARY LINE |
| — | — | STREET CENTERLINE |
| — | — | EASEMENT LINE |
| — | — | LOT LINES |
| — | — | SEWER PIPE |
| — | — | SEWER MANHOLE |
| — | — | 4" SEWER SERVICE |
| — | — | STORM DRAIN PIPE (RCP) |
| — | — | STORM DRAIN MANHOLE |
| — | — | CURB INLET |
| — | — | COMBO BOX |
| — | — | 4x4' CATCH BASIN |
| — | — | 3x3' CATCH BASIN |
| — | — | 2x2' CATCH BASIN |
| — | — | INLET/OUTLET W/ GRATE |
| — | — | CULINARY/WATER PIPE |
| — | — | 45° PIPE ELBOW (W) |
| — | — | 22.5° PIPE ELBOW (W) |
| — | — | 11.25° PIPE ELBOW (W) |
| — | — | FIRE HYDRANT |
| — | — | 3/4" SERVICE & METER (W) |
| — | — | PRV(W) |
| — | — | AIR-VAC VALVE (W) |
| — | — | 2" BLOW-OFF (W) |
| — | — | VALVE (W & SW) |
| — | — | TEE |
| — | — | CROSS |
| — | — | SECONDARY WATER PIPE |
| — | — | 45° PIPE ELBOW (SW) |
| — | — | 22.5° PIPE ELBOW (SW) |
| — | — | 11.25° PIPE ELBOW (SW) |
| — | — | 1" SINGLE SW SERVICE |
| — | — | 1-1/2" DUAL SW SERVICE |
| — | — | SW SERVICE TO PARKS |
| — | — | AIR-VAC VALVE (SW) |
| — | — | BACKFLOW PREVENTER |
| — | — | 30" CG (COLLECTOR) |
| — | — | 24" CG (LOCAL) |
| — | — | 24" SHED CG |
| — | — | SIDEWALK |
| — | — | STOP SIGN |
| — | — | STREET SIGN |
| — | — | MONUMENT |
| — | — | SPRINKLER CONDUIT |
| — | — | FENCE |
| — | — | STREET LIGHT LOCAL |
| — | — | STREET LIGHT COLLECTOR |
| — | — | POWER POLE |
| — | — | DITCH |
| — | — | FIBER OPTIC |
| — | — | GAS |
| — | — | OVERHEAD POWER |
| — | — | FLOW ARROW |
| — | — | CONTOURS |
| — | — | 100 YEAR FLOOD ROUTE |
| — | — | MATCH LINE |
| — | — | DRIVE APPROACH |
| — | — | ADA RAMP |
| — | — | ST-4 |
| — | — | ST-5A, ST-5B, ST-5C, ST-5E |
| — | — | TRAIL |
| — | — | ST-15A, ST-34, (*4) |
| — | — | (*1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES |
| — | — | (*2) SEE PLAN & PROFILE FOR SIZE & MATERIAL |
| — | — | (*3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES |
| — | — | (*4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS |
| — | — | (*5) SEWER SERVICE MINIMUM SLOPE 2% |



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(*2) SEE PLAN & PROFILE FOR SIZE & MATERIAL

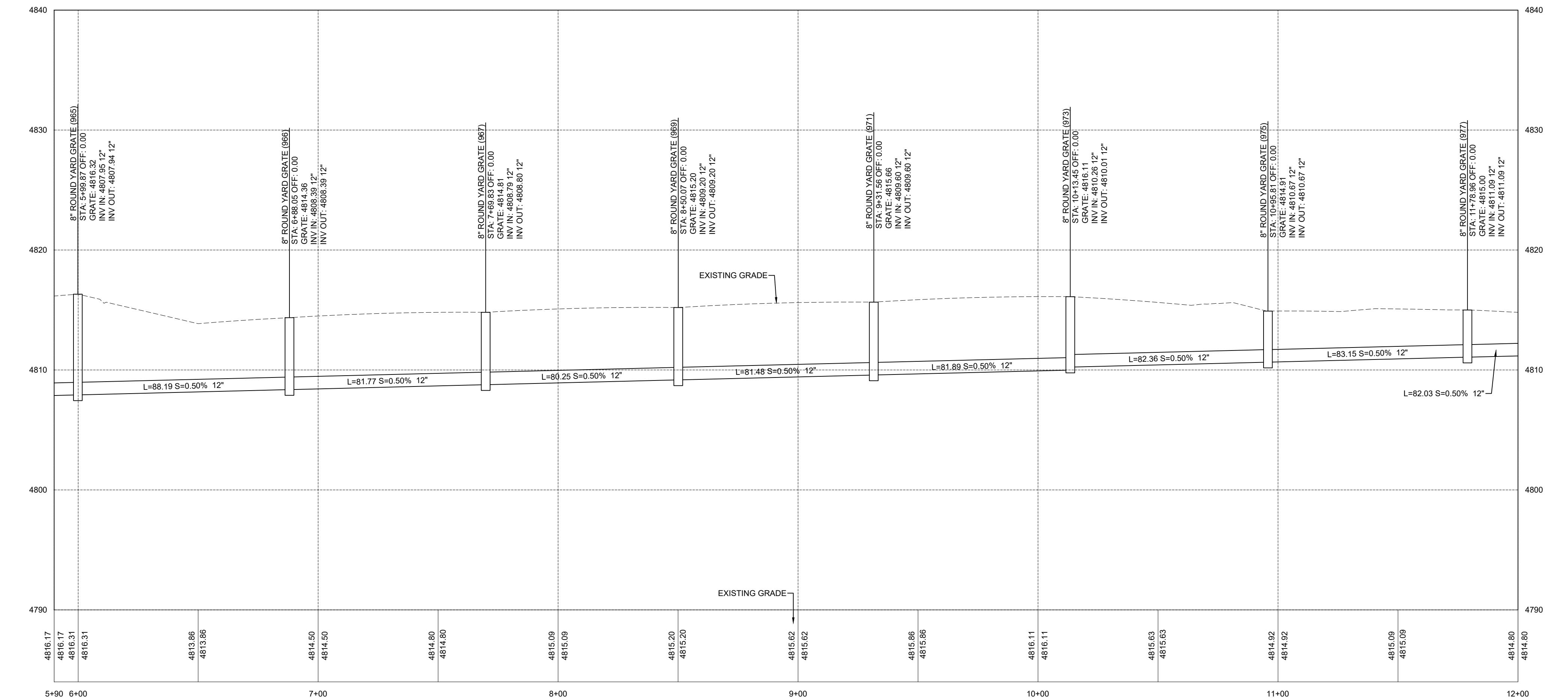
(*3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES

(*4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS

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| SHEET NOTES | |
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WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

YARD BOX PLAN & PROFILE

STA: 6+00 TO 12+00

REVISIONS

1 -

2 -

3 -

4 -

5 -

LEI PROJECT #:

2013-0902

DRAWN BY:

BLS/MJV

CHECKED BY:

GDM/DAF

SCALE:

1" = 30'

(PRINTED ON 24x36)

DATE:

4/11/2013

SHEET

3

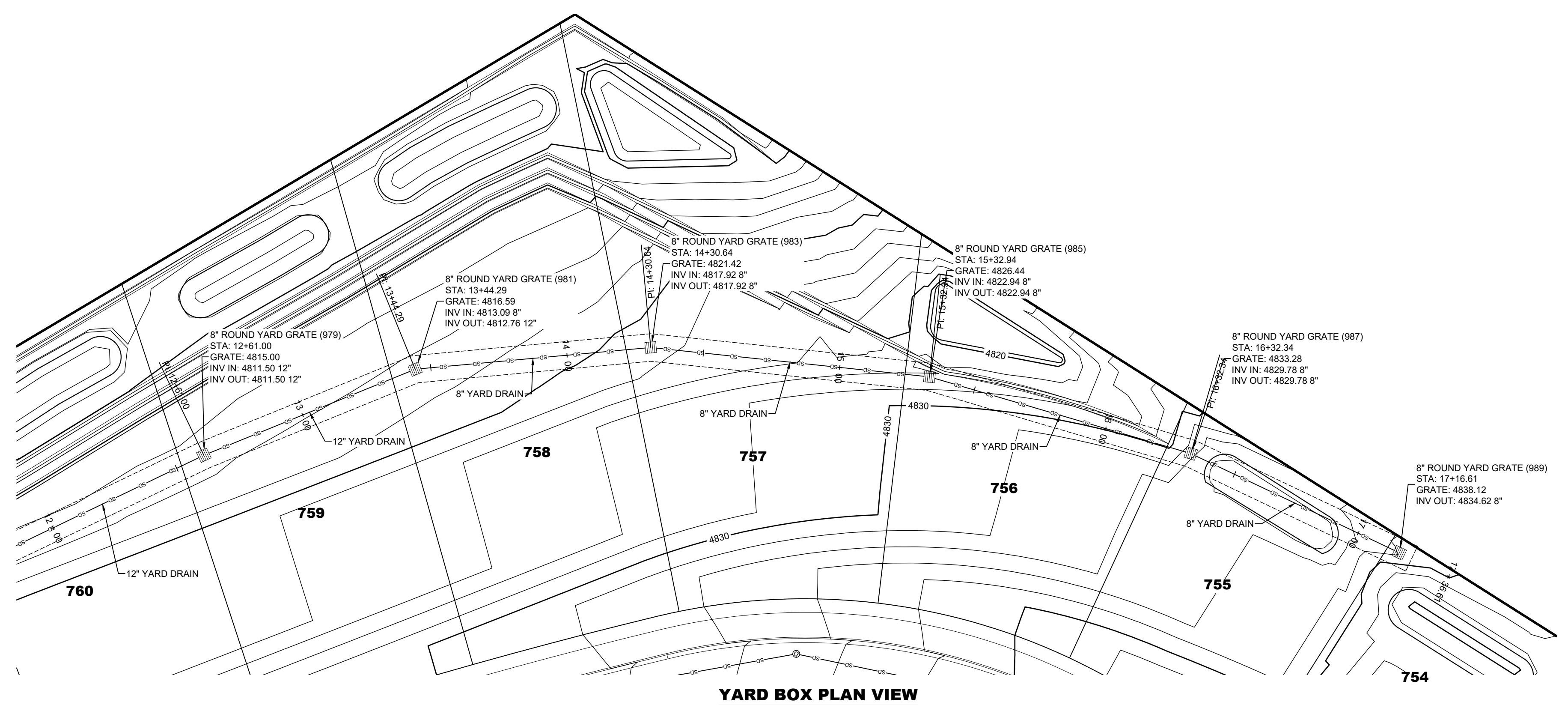


WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

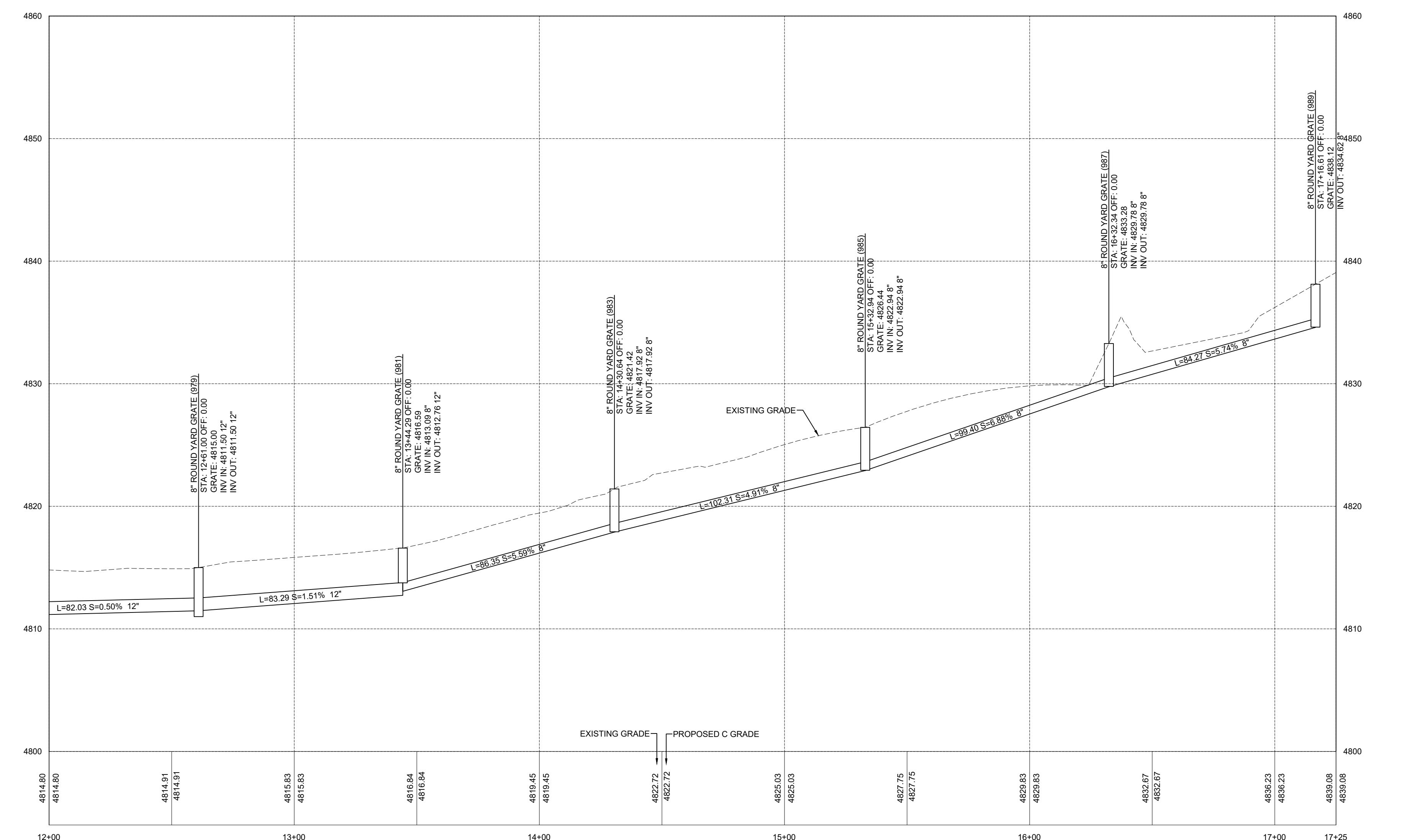
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

YARD BOX PLAN & PROFILE

STA: 6+00 TO 12+00



YARD BOX PLAN VIEW



YARD BOX PROFILE

| EXISTING | PROPOSED | DETAILS |
|--------------------------|--------------------------------|---------|
| BOUNDARY LINE | | |
| STREET CENTERLINE | | |
| EASEMENT LINE | | |
| LOT LINES | | |
| SEWER PIPE | SS-1, ST-7, ("2) | |
| SEWER MANHOLE | SS-2, SS-2A, ("2) | |
| 4" SEWER SERVICE | SS-3, ("5) | |
| STORM DRAIN PIPE (RCP) | SD-1, ST-7, ("2) | |
| STORM DRAIN MANHOLE | SD-2, ("2) | |
| CURB INLET | SD-4 | |
| COMBO BOX | ("2) | |
| 4x4' CATCH BASIN | SD-5 | |
| 3x3' CATCH BASIN | ("2) | |
| INLET/OUTLET W/ GRATE | SD-5 | |
| CULINARY/WATER PIPE | DW-1, DW-2, DW-3, ST-7, ("2) | |
| 45° PIPE ELBOW (W) | DW-2, DW-3, ("2) | |
| 22.5° PIPE ELBOW (W) | DW-2, DW-3, ("2) | |
| 11.25° PIPE ELBOW (W) | DW-2, DW-3, ("2) | |
| FIRE HYDRANT | DW-4 | |
| 3/4" SERVICE & METER (W) | DW-5 | |
| PRV(W) | DW-10A, DW-10B, DW-15 | |
| AIR-VAC VALVE (W) | DW-12, DW-15 | |
| 2" BLOW-OFF (W) | DW-13A, DW-15 | |
| VALVE (W & SW) | ("1") | |
| TEE | DW-2, ("2") | |
| CROSS | DW-2, ("2") | |
| SECONDARY WATER PIPE | PI-1, PI-2, ST-7, ("2") | |
| 45° PIPE ELBOW (SW) | PI-2, ("2") | |
| 22.5° PIPE ELBOW (SW) | PI-2, ("2") | |
| 11.25° PIPE ELBOW (SW) | PI-2, ("2") | |
| 1" SINGLE SW SERVICE | PI-3, PI-5A, PI-5C | |
| 1-1/2" DUAL SW SERVICE | PI-3, PI-5B, PI-5C | |
| SW SERVICE TO PARKS | PI-4 | |
| AIR-VAC VALVE (SW) | PI-8, PI-13 | |
| BACKFLOW PREVENTER | PI-11 | |
| STOP SIGN | PI-12A, PI-13 | |
| STREET SIGN | ST-1, ST-2A | |
| MONUMENT | ST-1, ST-2B | |
| SPRINKLER CONDUIT | ST-1, ST-2C | |
| FENCE | ST-1, ST-2F | |
| STREET LIGHT LOCAL | ST-1 | |
| STREET LIGHT COLLECTOR | LS-14, LS-15, DET. 1 SH. D-4 | |
| POWER POLE | LP-1, LP-1B, LP-1C, LP-4, LP-6 | |
| DITCH | LP-2, LP-2B, LP-2C, LP-5, LP-6 | |
| FIBER OPTIC | | |
| EX-GAS | | |
| EX-KOP | | |
| OVERHEAD POWER | | |
| FLOW ARROW | | |
| CONTOURS | | |
| 100 YEAR FLOOD ROUTE | | |
| MATCH LINE | | |
| DRIVE APPROACH | ST-4 | |
| ADA RAMP | ST-5A, ST-5B, ST-5C, ST-5E | |
| TRAIL | ST-15A, ST-34, ("4") | |

(*1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES
(*2) SEE PLAN & PROFILE FOR SIZE & MATERIAL
(*3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
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REVISIONS

1 -

2 -

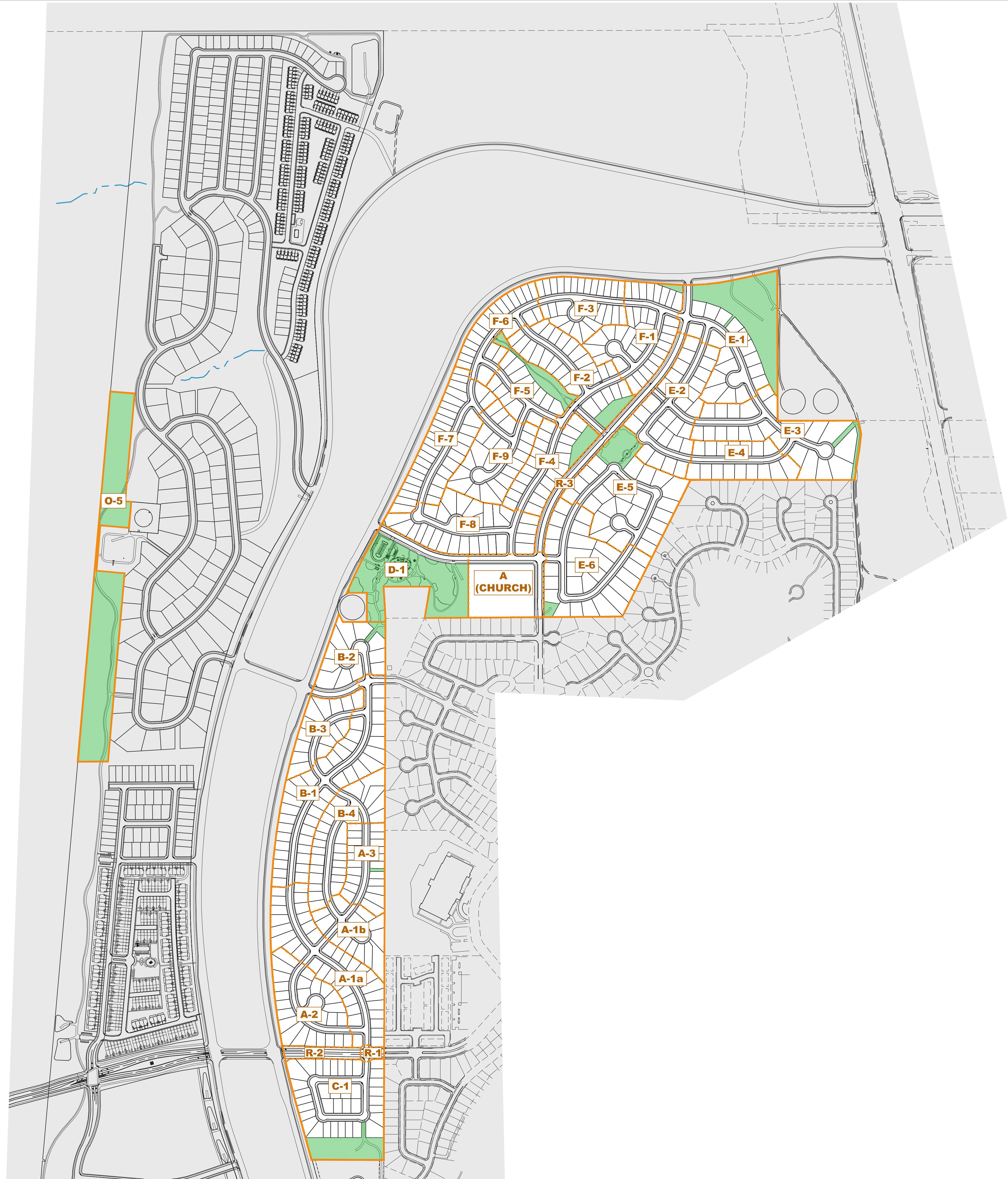
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5 -

LEI PROJECT #: 2013-0902
DRAWN BY: BLS/MJV
CHECKED BY: GDM/DAF
SCALE: 1" = 30'
(PRINTED ON 24x36)
DATE: 4/11/2023

SHEET

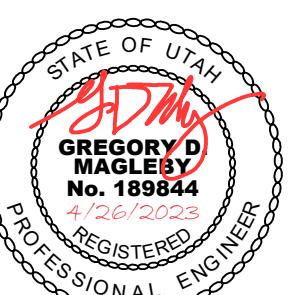


WILDFLOWER
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

VILLAGE 1 - OPEN SPACE EXHIBIT

REVISIONS
1 -
2 -
3 -
4 -
5 -

LEI PROJECT #: 2013-0902
DRAWN BY: BLS
DESIGNED BY: GDM
SCALE: 1"=350'
DATE: 7/31/2020



WILDFLOWER - VILLAGE 1 (NORTH) - PLATS E-5 & E-6

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

YARD BOX EASEMENT EXHIBIT

REVISIONS
1 -
2 -
3 -
4 -
5 -

LEI PROJECT #: 2013-0902
DRAWN BY: BLS/MJV
CHECKED BY: GDM/DAF
SCALE: 1" = 60'
(PRINTED ON 24x36)
DATE: 4/26/2023

SHEET

1



